

# River Front Living

*100 Main St, Seattle, WA*



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## GENERAL INQUIRY

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Date: May 12, 2014  
To: PFCS - PDX  
PFCS - PDX  
T: (503) 246-3744 E: pdxstaff@petefowler.com  
From: Pete Fowler Construction Services, Inc.  
Project: River Front Living (PFCS 14-000)  
Regarding: Property Condition Assessment  
Note: Confidential Attorney-Client and Attorney Work Product. Protected under all applicable evidence codes.

Dear Mr. Fowler,

The following report conforms to ASTM (American Society for Testing and Materials) E-2018, Standard Guide for Property Condition Assessments, with the primary goal being to identify and communicate physical deficiencies for the property located at 100 Main St, Seattle, WA.

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# 1. Executive Summary

## GENERAL PHYSICAL CONDITION

The overall property appears to have a good level of preventive maintenance, and is in good condition. Routine and preventive maintenance procedures have been established and have been properly executed. The original construction details are common with commercial construction, and include premium products. A limited amount of repairs and additional investigation items have been identified below.

## ACTION STEPS

### Immediate Repair Items:

1. A1010 - Item 1: Foundations: Moisture intrusion at Building A - Level P2 - North Elevation
2. B2010 - Exterior Enclosure: Exterior Gypsum Ceiling, Building-A
3. B3007 B - Elevated Waterproof Deck (over livable spaces) Isolated re-coat / re-slope at Building-B - unit 905
4. G2043 A Building A Interior Water Feature - Item 2: Monitor and maintain adequate venting at Building-A pump room and maintain adequate air exchange.
5. G2043 A Building A Interior Water Feature - Item 3: Clean small amount of mold that has accumulated in Building A pump room. See PFCS or other sources of information for guidance ([pfcs.co/mold](http://pfcs.co/mold)).
6. G2043 B - Moisture intrusion at Building B - Level P1 below interior water feature. Also see A1010 Item 3.

### Maintenance Focus Items:

1. A1010 - Item 2. Grease migration at Building A - Level P2 - West Elevation. Further Investigation Recommended.
2. B3007 A Elevated Waterproof Decks (Balcony) - Maintain an proactive maintenance plan for exterior edge detail
3. G2050 A Irrigation - Adjust / Turn-off irrigation at North of Building-A
4. G2050 A Irrigation - Adjust irrigation along Riverwalk in order avoid irrigation spill over onto pedestrian walkways
5. G2050 C Landscape Pot Planters - Adjust irrigation at pots along Riverwalk in order to avoid spill over onto pedestrian walkways
6. G2043 A Building A Interior Water Feature - Item 1: Monitor humidity levels at Building-A entry, and maintain adequate air exchange.

### Further Investigation Recommended:

1. B2013 Item 1: Building-A Entry water intrusion at metal clad panels
2. B2013 Item 2: Building-A Moss at base of wall
3. B3007 B Building-A, Area behind current antique store



## GENERAL DESCRIPTION

River Front Living is a 2-building, mixed use project located at 100 Main St, Seattle, WA with 10 stories above grade plus 2 levels of subterranean parking. The project includes 199 total units including 2 commercial and 5 work / live units. Construction was completed in 2010 by Acme Construction. The North building is labeled as Building-A and the South structure is labeled as Building-B.

Parking is provided on the site with two subterranean parking levels, located below the structures. Surface street parking is available along Main Street. The exterior site is improved with an exterior water feature, landscape areas, pedestrian concrete walkways, and common area amenities that include numerous seating areas.

The dwelling units are conventional units ranging from one bedroom to penthouse condominiums, with balconies or decks over livable space, depending on the elevation of the unit. Each unit is equipped with its own mechanical components, located within its space.

The exterior envelope of both buildings consists of a metal cladding system, stone masonry panels, aluminum windows, membrane roof system, exterior gypsum, and elastomeric coated deck and balcony surfaces. This is a fully automated sprinkled facility, type 1-B concrete assembly, with numerous fire assembly ratings, depending on the type of wall.

Domestic hot water is provided to the buildings by municipal water, supplied by copper and PVC water piping. There are two high efficiency domestic boilers per building, located at the rooftop mechanical rooms. The water distribution system was designed with zones, and all units have their shut-off valves, located in the common area hallways.

Electric service to the site is provided by utility-owned, pad mounted electrical transformers. Electrical wiring within the facility is copper. Exterior lighting is provided by numerous sources, pole mounted fixtures, building lighting at entrances, landscape lighting, and bollard pedestrian lighting.

## GENERAL PROPERTY IDENTIFICATION SUMMARY

- Property Name: River Front Living
- Property Address: 100 Main Street, Seattle, WA
- Type of Facility: Type 1-B
- Site Area (Acres): 2.70 Acres
- Parking: Subterranean / Surface Parking
- Number of Buildings: 2 Buildings
- Number of Units: 192 Residential Units, 5 work/live units, and 2 commercial units (199 total)
- Number of Stories: 10 Stories with 2 Subterranean Levels
- Building(s) Area (SF): N/A





- Year Constructed: 2010
- Year Renovated: N/A
- Seismic Zone: Zone 3
- Wind Load: 85 MPH, Exposure B
- General Construction:
  - Walls: Concrete / Metal Stud, type 1-B
  - Foundations: Concrete
  - Roofing: Membrane
  - Exterior Envelope: Metal Clad Panels
  - Masonry: Architectural Masonry Panels
  - Windows: Aluminum Double and Triple Glazed
- Date of site Visit: 04/08/2014 and 04/21/2014
- Survey Conducted By: Pete Fowler, Alex Prokop, and Becky White

## OPINIONS OF PROBABLE COSTS

Not included in this report.

NOTE: PFCS can assist in further evaluation, specification, budgeting, bid pricing, contracting and quality assurance inspections, if desired by the owners and property manager.

## 2. Purpose and Scope

The purpose of conducting a baseline property condition assessment (PCA) is to identify and communicate physical deficiencies to a stakeholder. The term "physical deficiencies" means the presence of conspicuous defects or material deferred maintenance of a subject property's material systems, components or equipment as observed during the field observer's walk-through survey. This definition specifically excludes deficiencies that may be remedied with routine maintenance, miscellaneous minor repairs, normal operating maintenance, etc., and excludes minimal conditions that generally do not present material physical deficiencies of the subject property.

For this report, however, PFCS has included some deficiencies that can be remedied with routine or normal operating maintenance, or minor repairs. The scope of this report is based on a walkthrough survey (site inspection), document review (where applicable), research and interviews. Areas seen during the site inspection were limited to easily visible and readily accessible components and did not include any areas containing dangerous or adverse conditions.

### 3. Observations and System Descriptions

The property has been categorized into six levels: (1.) Substructure, (2.) Superstructure, (3.) Interiors, (4.) Services, (5.) Equipment, and (6.) Building Site-work. In turn, there are sub-levels that are addressed in the following pages, which describe the location, analysis and potential repair or suggested remedy, and include a photographic example and additional photograph references.

The following areas and systems are outside the scope of our observations: foundation systems, the interior of actual units, mechanical equipment, and electrical and plumbing assemblies within wall cavities.

#### CONDITION EVALUATION DEFINITIONS

- Good: Average to above-average condition for the building system or materials assessed, with consideration of its age, design, and geographical location. Generally, other than normal maintenance, no work is recommended or required.
- Fair: Average condition for the building system evaluated. Some work is required or recommended, primarily due to normal aging and wear of the building system, to return the system to a good condition.
- Poor: Below average condition for the building system evaluated. Significant work should be anticipated to restore the building system or material to an acceptable condition.

#### ELEMENT LIST

- Substructure
  - A1010 Foundations: Subterranean Concrete Walls and Columns
  - A2000 A Concrete Subterranean Parking Garage
  - A2000 B Parking Garage Insulation
  - A2000 C Garage Venting
- Superstructure
  - B1002 Masonry Panels
  - B2010 Exterior Enclosure: Exterior Gypsum Ceiling
  - B2013 Exterior Enclosure: Metal Cladding System
  - B2018 A Exterior Railings with Glass Railings at Decks
  - B2018 B Exterior Wall Accessories & Decorative Metal: Metal Hand Rail at Street Level
  - B2018 C Exterior Wall Accessories & Decorative Metal: Metal Hand Rail at Riverwalk Area
  - B2018 D Exterior Wall Accessories - Metal Louvers
  - B2020 Windows
  - B2030 Exterior Doors - Building Entry Doors
  - B2031 Exterior Doors: Garage Doors and Controls



- B2040 Exterior Wall Flashing & Sheet metal
- B2050 Joint Sealants
- B2060 A Exterior Coatings (Paint)
- B2060 B Concrete Parking Structure: Striping
- B3001 Sloped Roofs - Metal Wind Screens
- B3002 Low Slope Roofing
- B3005 Roof Accessories: Roof Drains
- B3006 Gutters & Downspouts
- B3007 A Elevated Waterproof Decks (Balcony)
- B3007 B Elevated Waterproof Decks (Over Livable Spaces)
- B3007 C Decks at Ground Level
- Interiors
  - C1020 Interior Doors
  - C2000 Stairs (Interior and Exterior): Metal Stairs
  - C3011 Interior Paint - Common Areas
  - C3021 Floor Finishes: Vinyl Flooring
  - C3024 Floor Finishes: Carpet at Common Areas
- Services
  - D1010 Elevators and Lifts
  - D2010 Plumbing Fixtures: Restroom Fixtures
  - D3000 A HVAC: Cooling Towers
  - D3000 B Elevator Cooling Unit
  - D3050 Natural Gas Fuel Distribution
  - D4000 A Fire Protection: Sprinkler System / Distribution
  - D4000 B Fire Protection: Fire Extinguishers / Defibrillator
  - D4050 A Fire Protection / Fire Alarm
  - D4050 B Fire Protection / Systems Sensors
  - D5010 Electrical Service and Distribution
  - D5020 A Lighting and Branch Wiring: Exterior
  - D5020 B Lighting and Branch Wiring: Interior
  - D5020 C Lighting and Branch Wiring: Bollard Lights
  - D5020 D Lighting and Branch Wiring: Landscape Lights
  - D5030 Communications & Security
- Equipment and Furnishings
  - E1000 A Equipment and Appliances
  - E1000 B Interior Furnishings
  - E1000 C Equipment and Appliances: Storage Lockers
  - E1000 D Equipment and Appliances: Trash
  - E1000 E Equipment and Appliances: Window Cleaning Equipment
  - E1000 F Equipment and Appliances: Bike Racks



- E1000 G Equipment and Appliances: Mailboxes
- Special Construction and Demolition
  - F1000 Special Construction: Sauna
- Building Sitework
  - G2020 Protective Bollards
  - G2030 A Pedestrian Concrete
  - G2030 B Pavers at Street Trees
  - G2041 A Fences: Chain Link (Bicycle Storage)
  - G2041 B Site Benches
  - G2043 A Building A Interior Water Feature
  - G2043 B Building B Interior Water Feature
  - G2043 C Exterior Water Feature
  - G2050 A Landscaping and Irrigation
  - G2050 B Landscape Concrete Planters
  - G2050 C Landscape Pots Planters
  - G2055 Fine Grading & Drainage
  - G3010 Water Supply
  - G4020 Site Lighting
  - G4030 Signage



## 3. Observations and System Descriptions

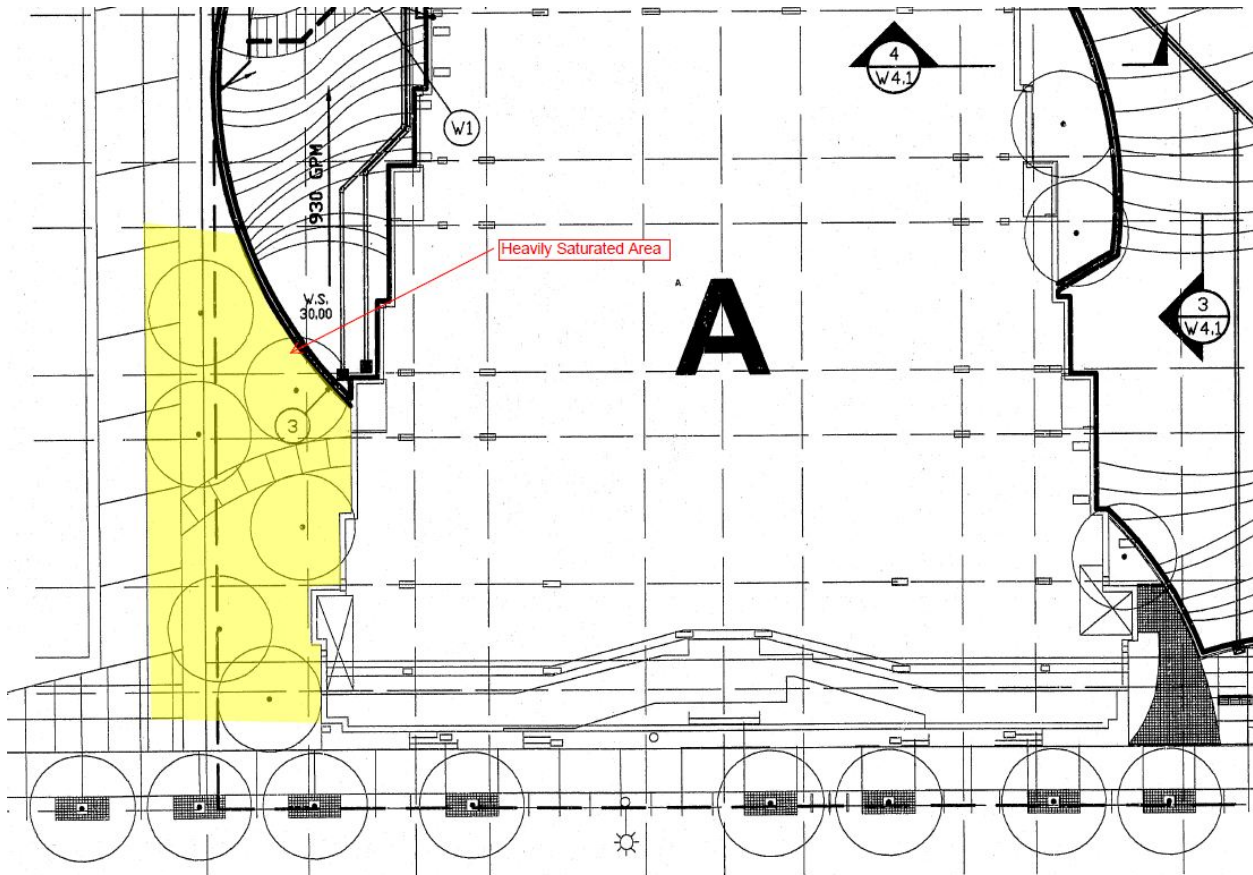
### A. SUBSTRUCTURE

#### A1010 FOUNDATIONS: SUBTERRANEAN CONCRETE WALLS AND COLUMNS

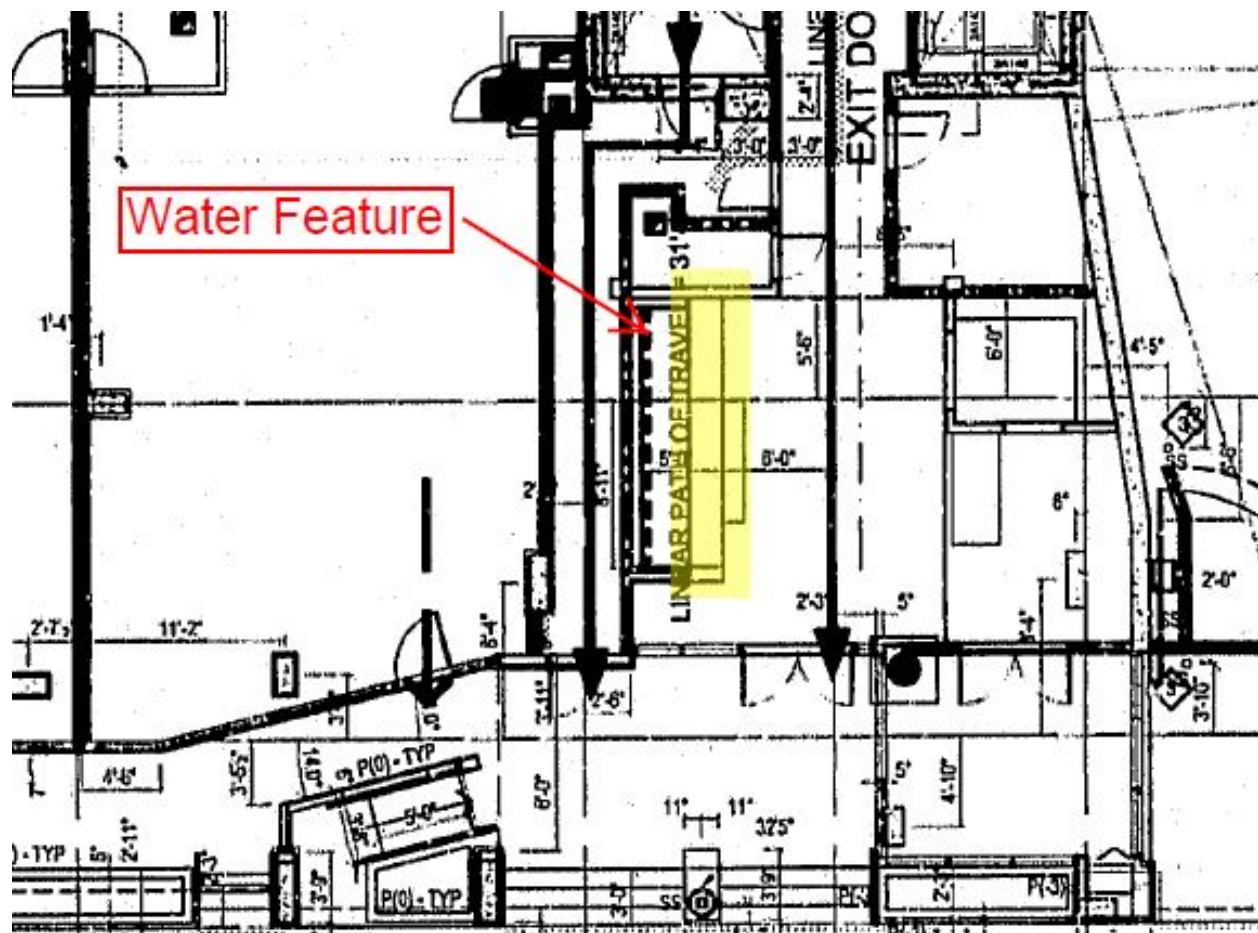
Issue	Inspect below grade walls for cracks and moisture.
Investigation	Visual inspections performed at P1 and P2.
Analysis	<p>Visual inspections performed of P1 and P2 levels. In general, below grade concrete assemblies are performing as intended. PFCS did not note any excessive cracks, beyond 1/8th of an inch throughout the subterranean parking levels. All concrete columns were observed to be in good condition. See conclusions for isolated conditions noted.</p> <p>PFCS Identified 3 items requiring analysis:</p> <ul style="list-style-type: none"> <li>• Item 1. Moisture intrusion at Building A - Level P2 - North Elevation</li> <li>• Item 2. Grease migration at Building A - Level P2 - West Elevation</li> <li>• Item 3. Moisture intrusion at Building B - Level P1 below interior water feature</li> </ul>
Conclusion	<p>PFCS recommends that all water intrusion conditions are considered as immediate repairs, as these become significantly more expensive, if not addressed.</p> <ul style="list-style-type: none"> <li>• Item 1. Moisture intrusion at Building A - Level P2 - North Elevation.</li> <li>• ** PFCS noted excessive saturation of soils along North elevation of building A due to excessive irrigation, and lack of drying cycles.</li> <li>• ** RECOMMENDATION: Turn down or completely turn off irrigation along North elevation of building A. This area does not have any dry time, due to its exposure and significant shading provided by the structure. Clean and eliminate efflorescence along moisture intrusion area and monitor for future performance. Once irrigation is adjusted, moisture intrusion may stop. If moisture intrusion continues, repairs may be required, such as exposing waterproofing system and termination bar at exterior, and or concrete repairs from the interior of the structure.</li> <li>• Item 2. Grease migration at Building A - Level P2 - West Elevation.</li> <li>• ** Grease migrating into concrete structure from tieback assemblies. Aesthetic condition only.</li> <li>• *** RECOMMENDATION: Clean off grease that has migrated into the concrete structure.</li> <li>• Item 3. Moisture intrusion at Building B - Level P1 below interior water feature.</li> <li>• ** Also see G2043B. Water migration through concrete directly below interior entry water feature.</li> </ul>



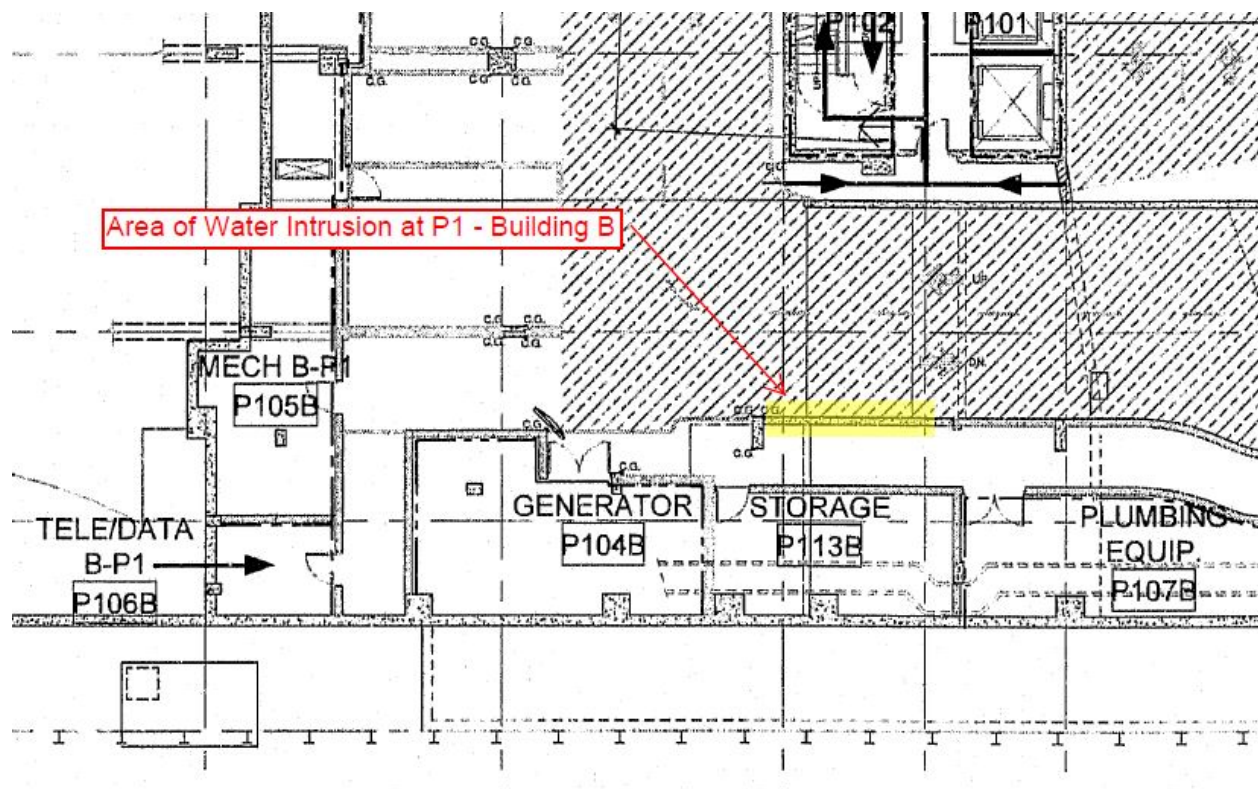
Conclusion (continued)	<ul style="list-style-type: none"><li><b>** RECOMMENDATION:</b> Turn off water feature and clean area of water intrusion, located within P1. Monitor condition while water feature is turned off in order to positively determine that the source is the water feature. It is likely that the water feature is the source and waterproofing repairs will be required.</li></ul>
Costs	



Area - Building A North Saturated Area

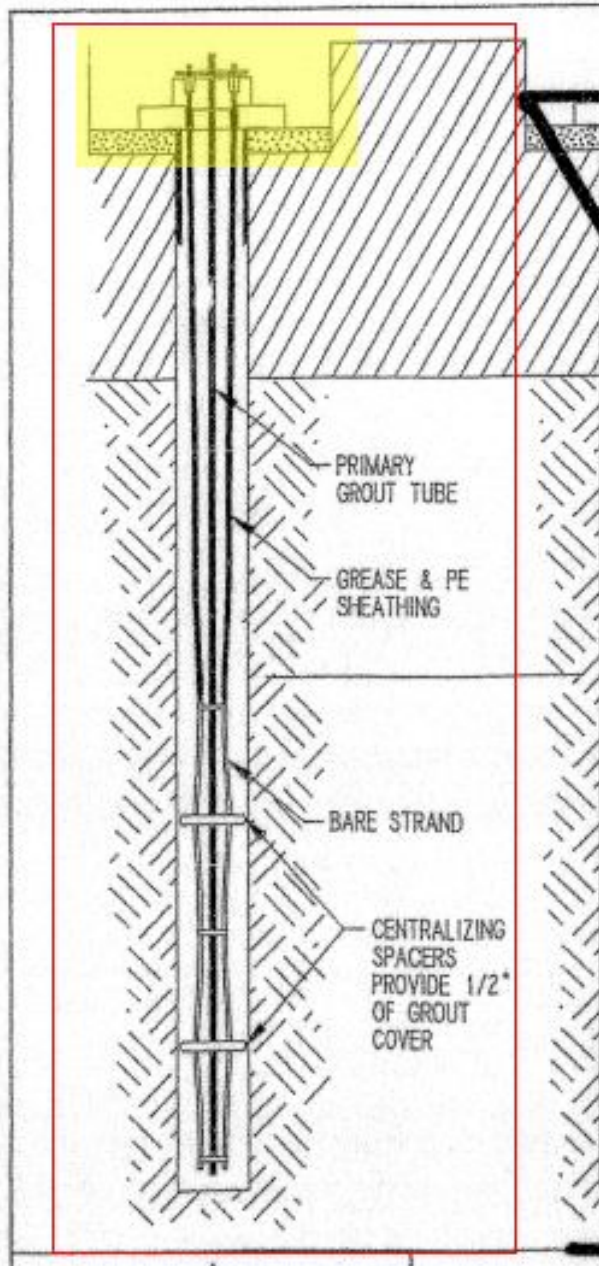


### Area - Building B Water Feature Location



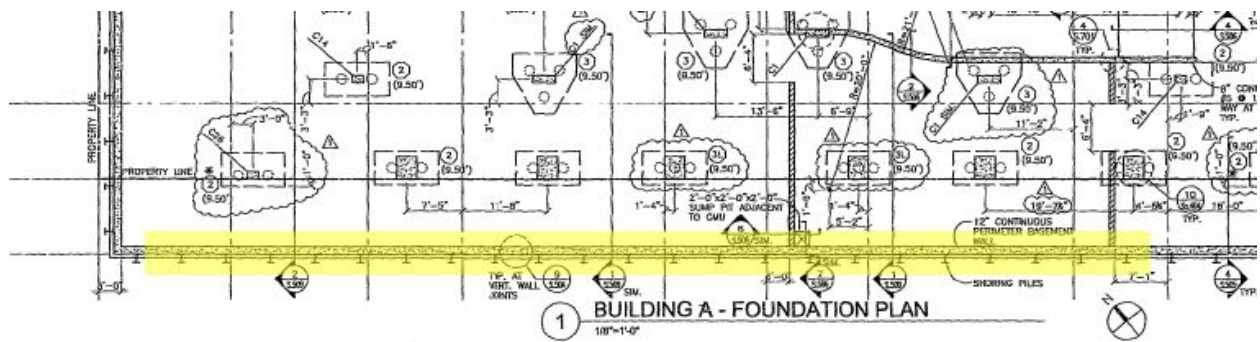
Area - Building B Below Water Feature Area

## DYWIDAG Multistrand Anchors Types



Detail - Tieback anchor detail





### Area - Tieback Locations



AP-01.617; 04/21/2014



AP-01.618; 04/21/2014



AP-01.620; 04/21/2014



AP-01.621; 04/21/2014





AP-01.670; 04/21/2014



AP-01.671; 04/21/2014



AP-01.677; 04/21/2014



AP-01.726; 04/21/2014; Elevation Left / North



AP-01.727; 04/21/2014; Elevation Left / North

## A. SUBSTRUCTURE

### A2000 A CONCRETE SUBTERRANEAN PARKING GARAGE

Issue	Inspect concrete structure for excessive cracks and or moisture intrusion conditions.
Investigation	Visual inspections of P1 and P2 levels.
Analysis	PFCS has performed a visual inspection of parking levels P1 and P2 at both structures. In general, the overall condition of the concrete subterranean structure is in very good condition. Vehicular pathways are well marked, signage is adequate, all parking stalls are marked, and concrete appears to be free from significant cracks.
Conclusion	No repairs recommended.
Costs	



AP-01.624; 04/21/2014



AP-01.653; 04/21/2014



AP-01.662; 04/21/2014

## A. SUBSTRUCTURE

### A2000 B PARKING GARAGE INSULATION

Issue	Verify attachment and coverage.
Investigation	Visual inspections.
Analysis	PFCS observed insulation attached to the parking garage ceiling, under livable space. All insulation was noted to be in good condition, well attached, with good coverage.
Conclusion	No repairs required.
Costs	



AP-01.517; 04/21/2014



AP-01.519; 04/21/2014



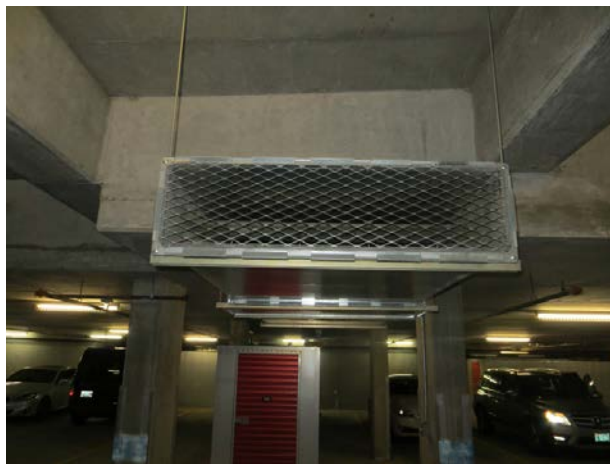
AP-01.522; 04/21/2014



## A. SUBSTRUCTURE

### A2000 C GARAGE VENTING

Issue	Verify subterranean venting.
Investigation	Visual inspections.
Analysis	Venting was observed throughout the subterranean levels. No issues identified.
Conclusion	No repairs required.
Costs	



AP-01.628; 04/21/2014



AP-01.639; 04/21/2014



AP-01.642; 04/21/2014

## B. SUPERSTRUCTURE

### B1002 MASONRY PANELS

Issue	Inspect for performance against weather.
Investigation	Visual inspections.
Analysis	Masonry panels were observed to be in good condition. No signs of distress throughout the property was noted by PFCS.
Conclusion	No repairs recommended.
Costs	



AP-01.010; 04/21/2014



AP-01.018; 04/21/2014



## B. SUPERSTRUCTURE

### B2010 EXTERIOR ENCLOSURE: EXTERIOR GYPSUM CEILING

Issue	Damaged exterior soffit components, exterior gypsum ceiling.
Investigation	Visual inspection.
Analysis	PFCS has performed an exterior inspection and noted moisture damage at numerous locations of exterior gypsum soffit, located at Building A entry, and commercial areas. The source of the moisture is run off from the outside edge detail of decks. Unfortunately, the edge allows for the moisture to wick up (capillary action) onto the gypsum soffit ceiling, causing the outside edge to be damaged. Based on interviews of Jason Cunningham (on-site building engineer), this is an area that has been repaired numerous times in the past.
Conclusion	PFCS recommends a new detail to be considered for this area, in order to avoid continuous repairs. It is recommended that the HOA board consults with the original architect of record in order to consider a detail that would promote a long term solution. PFCS recommends that the detail include a gutter system to allow for the run-off to be captured without damaging the soffit ceiling, or consider a new material to be installed at the initial 18" of soffit area, such as a metal panel consistent with the architecture of the buildings, which can handle the weather exposure of the Pacific Northwest.
Costs	



BW-01.318; 04/08/2014; Elevation Front / West



BW-01.334; 04/08/2014; Elevation Front / West, Elevation Right / South



AP-01.534; 04/21/2014



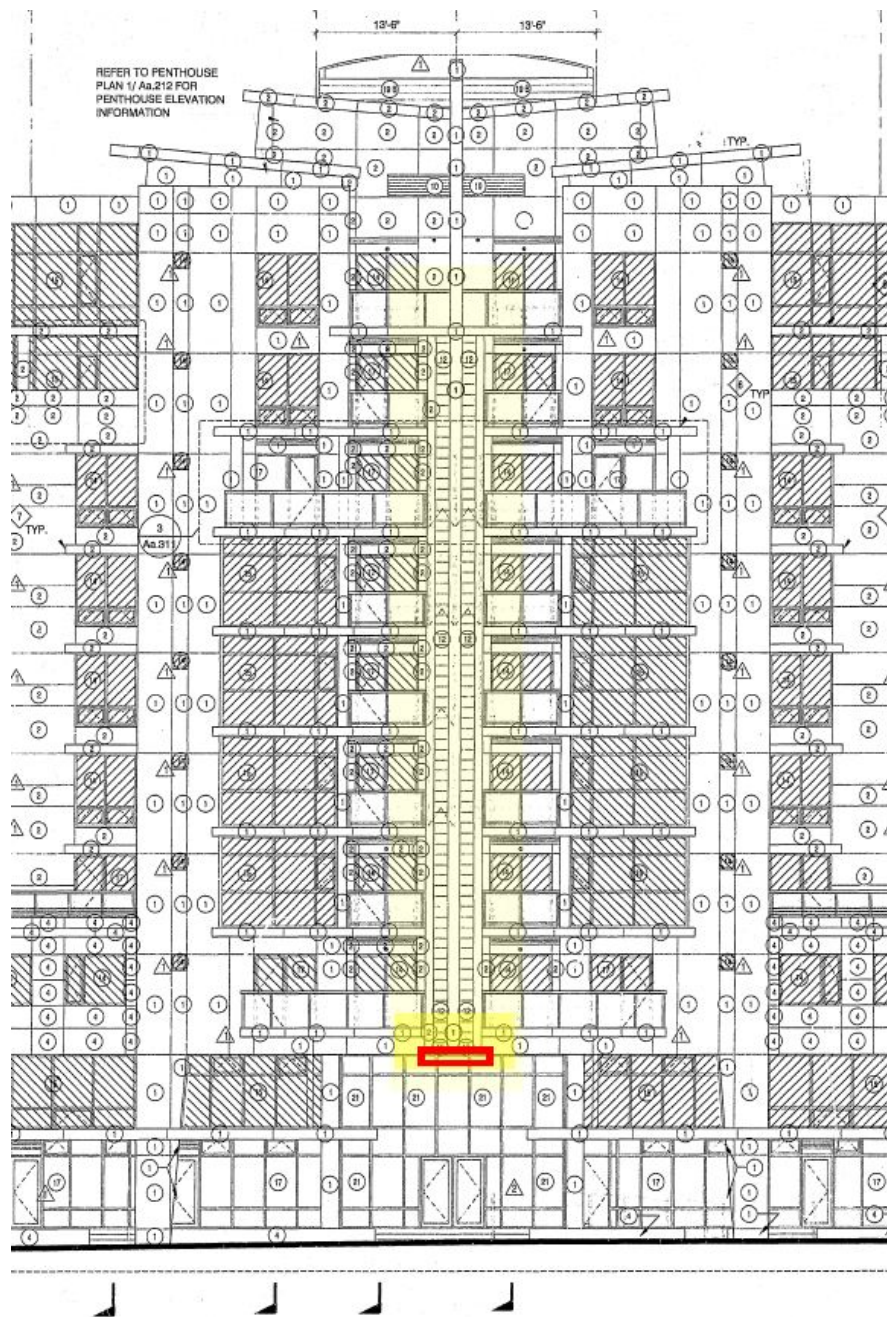
AP-01.536; 04/21/2014

## B. SUPERSTRUCTURE

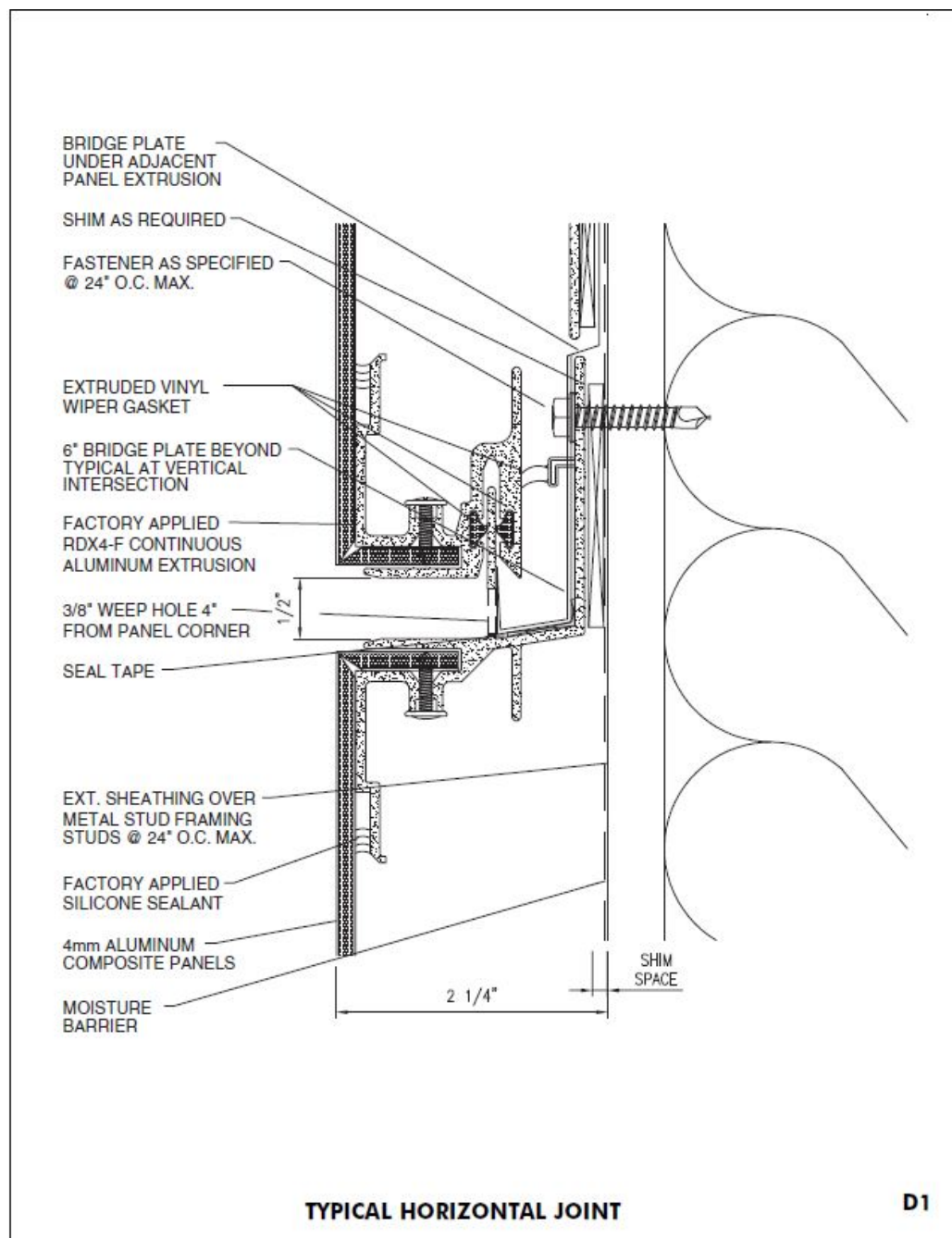
### B2013 EXTERIOR ENCLOSURE: METAL CLADDING SYSTEM

Issue	Inspect for areas of possible moisture intrusion, and/or where panels are not performing as intended.
Investigation	Visual inspection of building exteriors.
Analysis	<p>PFCS performed numerous visual inspections of building exteriors. In general the metal cladding system is performing as intended, however an isolated location was identified that requires further research / investigation.</p> <p>Product: Aluminum Composite Cladding Systems  Product Description: Aluminum Composite panels, RDX- ACM Dry Joint Rainscreen System  Manufacturer: Armetco  Installer: Streimer Sheet Metal</p>
Conclusion	<p>Item 1: Further investigation required for Building A, area above entry, where moisture intrusion enters metal cladding system and water then drips onto sidewalk above entry (major pedestrian pathway to building). Water intrusion possibly right at lower unit balconies.</p> <p>Item 2: Further investigation is required for the North elevation of Building A, to the right of the man door, due to moss growth.</p>
Costs	





Area - Building A Entry - Panel Moisture Intrusion



Detail - Typical Horizontal Joint





Detail - Typical Joint



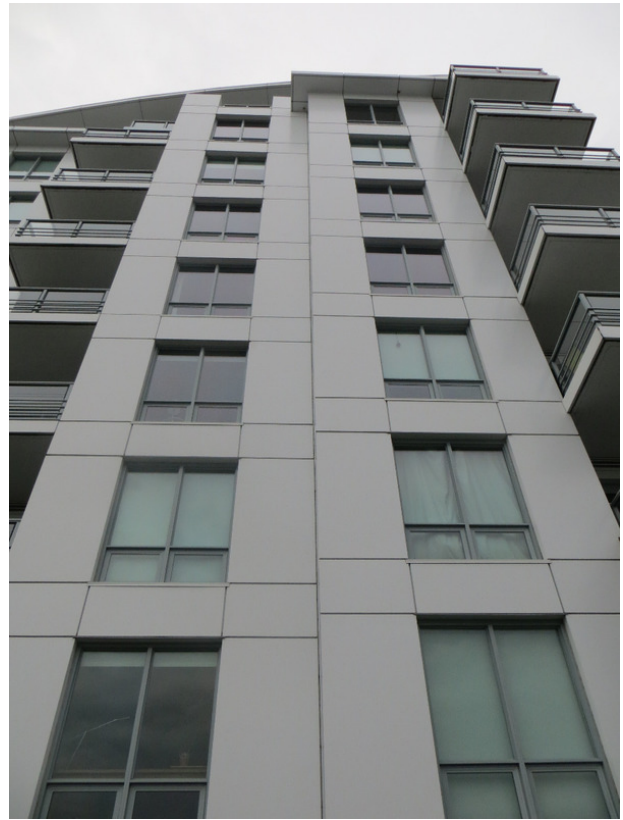
BW-01.275; 04/08/2014; Elevation Front / West,  
Elevation Right / South



BW-01.277; 04/08/2014; Elevation Front / West,  
Elevation Left / North



**BW-01.338; 04/08/2014; Elevation Front / West,  
Elevation Right / South**



**AP-01.030; 04/21/2014**



**AP-01.265; 04/21/2014; Roof**



**AP-01.414; 04/21/2014; Elevation Front / West**



AP-01.422; 04/21/2014; Elevation Front / West



AP-01.423; 04/21/2014; Elevation Front / West

## B. SUPERSTRUCTURE

### B2018 A EXTERIOR RAILINGS WITH GLASS RAILINGS AT DECKS

Issue	Inspect for corrosion and or breakdown of surface finish.
Investigation	Visual inspections of numerous deck assemblies and deck rail systems.
Analysis	<p>Glass view railings exist on all view balconies. Metal frames are powder coated aluminum finish. Tempered glass panels over the rail system, as per code. No issues were observed by PFCS. All finishes were noted as in good condition, with no corrosion noted.</p> <p>Product: Aluminum Series 200 top rail with base plate mounting method and decorative horizontal mid-rails.  Finish Coating: PPG Duracron S600 "Seafoam" finish  Manufacturer: Sapa Architectural Products</p>
Conclusion	No repairs required.
Costs	



BW-01.080; 04/08/2014; Elevation Right / South



BW-01.081; 04/08/2014; Elevation Right / South





BW-01.082; 04/08/2014; Elevation Right / South



AP-01.301; 04/21/2014

## B. SUPERSTRUCTURE

### B2018 B EXTERIOR WALL ACCESSORIES & DECORATIVE METAL: METAL HAND RAIL AT STREET LEVEL

Issue	Investigate finishes and structural integrity.
Investigation	Visual inspections.
Analysis	Handrails at street level, western elevations. All handrails were noted to be in good condition. None of the finishes were noted to be in distress. All handrails were solid with adequate structural integrity.
Conclusion	No repairs required.
Costs	



BW-01.311; 04/08/2014; Elevation Front / West,  
Elevation Left / North



BW-01.312; 04/08/2014; Elevation Front / West



AP-01.012; 04/21/2014



AP-01.019; 04/21/2014

## B. SUPERSTRUCTURE

### B2018 C EXTERIOR WALL ACCESSORIES & DECORATIVE METAL: METAL HAND RAIL AT RIVERWALK AREA

Issue	Investigate finishes and structural integrity.
Investigation	Visual inspections.
Analysis	Handrails at river-walk area, eastern elevations. All handrails were noted to be in good condition. Metal handrail system with cables. All cables were noted to be present and tight. None of the finishes were noted to be in distress. All handrails were solid with adequate structural integrity.
Conclusion	No repairs recommended.
Costs	



AP-01.041; 04/21/2014



AP-01.042; 04/21/2014



AP-01.106; 04/21/2014



AP-01.107; 04/21/2014



## B. SUPERSTRUCTURE

### B2018 D EXTERIOR WALL ACCESSORIES - METAL LOUVERS

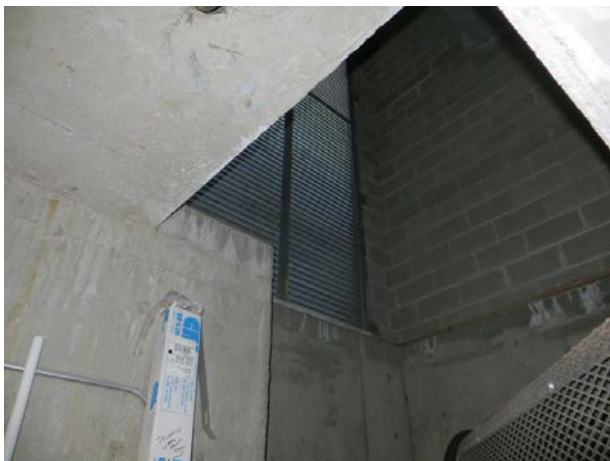
Issue	Inspect finishes for corrosion or any distress.
Investigation	Visual inspections.
Analysis	Metal louvers were observed at numerous locations, mainly associated with garage venting and mechanical rooms. All louvers were observed to be in good condition, with no corrosion noted.
Conclusion	No repairs recommended.
Costs	



AP-01.119; 04/21/2014; Elevation Right / South



AP-01.127; 04/21/2014



AP-01.567; 04/21/2014

## B. SUPERSTRUCTURE

### B2020 WINDOWS

Issue	Inspect for sealant failures or glazing failures.
Investigation	Visual inspections.
Analysis	<p>PFCS performed visual inspections of the common and residential units, where accessible throughout our inspections. The windows are AAMA certified (see inspection photographs), and manufactured in Canada by Starline Windows. All caulking around windows was observed to be in good condition. All glazing seals were observed to be performing with no failed units noted throughout. Per interview with Jason Cunningham (on-site building engineer) and Sean Rogers (property manager), there have been no reported leaks at windows throughout the history of the project.</p> <p>Product Manufacturer: Starline Architectural Windows  Series 9000 - Double Glazed Window Wall  Series 9502 - Double Glazed Swing Door  Series 9503 - Triple Glazed Swing Door  Product Description: Thermally broken 4 1/2" aluminum casement / fixed window with seismic jambs</p>
Conclusion	No repairs recommended. PFCS recommends inspections of sealant joints at windows, once a year.
Costs	







**BW-01.261; 04/08/2014; Building Interiors,  
Elevation Front / West**



**AP-01.180; 04/21/2014; Elevation Back / East**



**AP-01.271; 04/21/2014**



**AP-01.299; 04/21/2014**



AP-01.382; 04/21/2014

## B. SUPERSTRUCTURE

### B2030 EXTERIOR DOORS - BUILDING ENTRY DOORS

Issue	Inspect for sealant failures and operational status.
Investigation	Visual inspections.
Analysis	PFCS performed visual inspections of common area doors throughout the buildings. The main entry doors were observed to be well covered, where the building was providing good protection of the main entries. All doors and hardware were noted as operational with no issues. All finishes were noted as in good condition with no immediate maintenance required.
Conclusion	No repairs recommended.
Costs	



BW-01.368; 04/08/2014; Elevation Front / West



BW-01.369; 04/08/2014; Elevation Front / West



BW-01.370; 04/08/2014; Elevation Front / West



PF-01.068; 04/08/2014; Elevation Left / North

## B. SUPERSTRUCTURE

### B2031 EXTERIOR DOORS: GARAGE DOORS AND CONTROLS

Issue	Inspect operational status and finishes.
Investigation	Visual inspection.
Analysis	Garage doors were observed to be functioning as intended, with frequent use, due to only one entrance into subterranean garage structure. Door was observed to open with ease, once activated by an approaching car. A dent was noted from the exterior (aesthetic item), with no immediate need for repairs. Opener motor was noted to be by Chamberlain Elite and serviced by Metro Security Access Control Company.
Conclusion	No repairs required.
Costs	



AP-01.126; 04/21/2014



AP-01.128; 04/21/2014



AP-01.700; 04/21/2014



AP-01.702; 04/21/2014



## B. SUPERSTRUCTURE

### B2040 EXTERIOR WALL FLASHING & SHEET METAL

Issue	Identify and inspect product transitions and associated sealant joints.
Investigation	Visual inspections.
Analysis	PFCS inspected wall flashing details, as available throughout numerous inspections. Flashing details were observed at product transitions and generally observed in areas where required by code and industry standards. Based on interviews, no water intrusion events have been noted throughout the buildings.
Conclusion	No repairs required.
Costs	



BW-01.085; 04/08/2014; Elevation Right / South



BW-01.105; 04/08/2014; Elevation Back / East



BW-01.110; 04/08/2014; Elevation Back / East



BW-01.341; 04/08/2014; Elevation Front / West,  
Elevation Right / South



**BW-01.361; 04/08/2014; Elevation Left / North**

## B. SUPERSTRUCTURE

### B2050 JOINT SEALANTS

Issue	Inspect sealant joints for performance.
Investigation	Visual inspections.
Analysis	Sealant joints were noted to be in fair to good condition. Sealant joints are of commercial grade, with a backer rod system, adequately supporting them. Annual inspections required in order to assure performance and to identify a replacement time frame.
Conclusion	<ul style="list-style-type: none"><li>Isolated repair required at Building A - north elevation natural gas entry.</li><li>In general, the sealant joints observed are performing well in service</li><li>PFCS recommends inspections of sealant joints at windows, once a year.</li></ul>
Costs	



BW-01.355; 04/08/2014; Elevation Left / North



BW-01.356; 04/08/2014; Elevation Left / North



**BW-01.359; 04/08/2014; Elevation Left / North**



**AP-01.285; 04/21/2014**



**AP-01.441; 04/21/2014**



**AP-01.450; 04/21/2014**



## B. SUPERSTRUCTURE

### B2060 A EXTERIOR COATINGS (PAINT)

Issue	Inspect exterior envelope and site components for corrosion or failing finish surfaces.
Investigation	Visual inspections.
Analysis	Most products delivered to the project, during the original construction were pre-finished in the factory. Current observations did not indicate any products experiencing corrosion or a failing finished surface condition. Bubbling paint was observed at Building A soffit area, see element B2010 for further details and repair recommendations.
Conclusion	No repairs required.
Costs	



BW-01.294; 04/08/2014; Elevation Front / West,  
Elevation Left / North



AP-01.030; 04/21/2014





**AP-01.041; 04/21/2014**



**AP-01.185; 04/21/2014; Elevation Back / East**

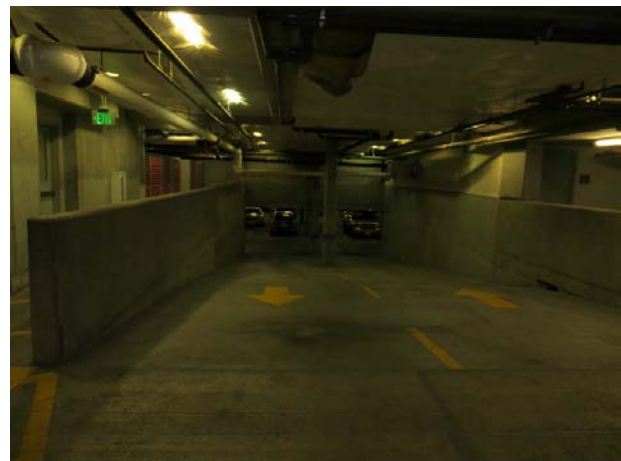
## B. SUPERSTRUCTURE

### B2060 B CONCRETE PARKING STRUCTURE: STRIPING

Issue	Inspect signage and reflectivity of striping at concrete.
Investigation	Visual inspection
Analysis	Visual inspections.
Conclusion	PFCS performed a visual inspection of levels P1 and P2. Concrete paint striping was reflected and all parking stalls, directional paint, and in general was in good condition.
Costs	No repairs recommended.



AP-01.523; 04/21/2014



AP-01.526; 04/21/2014



AP-01.554; 04/21/2014



AP-01.555; 04/21/2014

## B. SUPERSTRUCTURE

### B3001 SLOPED ROOFS - METAL WIND SCREENS

Issue	Inspect for structural integrity, corrosion, and loose connections.
Investigation	Visual inspections.
Analysis	PFCS observed the wind screens to be in good condition. None were identified as in distress, loose, or any signs of corrosion. The main purpose of the panels is to block and enclose the mechanical equipment, located at the roof level of each building.  Product: Aluminum panels, attached to metal framing
Conclusion	No repairs required
Costs	



BW-01.373; 04/08/2014; Roof



BW-01.407; 04/08/2014; Elevation Front / West,  
Elevation Left / North



**AP-01.237; 04/21/2014; Roof**

## B. SUPERSTRUCTURE

### B3002 LOW SLOPE ROOFING

Issue	Visual inspection for standing water, seams, and overall condition of roof membrane.
Investigation	Visual inspection.
Analysis	<p>In general, the overall condition of the roof membrane is good. Seams and detailing at corners and penetrations are performing well, and none were observed to be loose nor are there signs of delamination. Some areas of standing water were noted at Building A. Although the manufacturer warranty is not impacted, standing water can lead to premature deterioration of the membrane. Per interviews conducted of Jason Cuninghame (on-site building engineer), the roof is being inspected twice per year, and therefore in compliance with the manufacturer warranty language.</p> <p>Product: Membrane roof system Manufacturer: Carlisle Coating &amp; Waterproofing</p> <p>Previous repairs were noted at the roof top mechanical room, where the pipe structural brackets were installed through the roof assembly and were not properly sealed. Stains at gypsum ceiling are not from an active leak, as repairs were completed, as per Jason. No action required.</p>
Conclusion	No repairs required. Continue semi annual inspections of the roof membrane.
Costs	

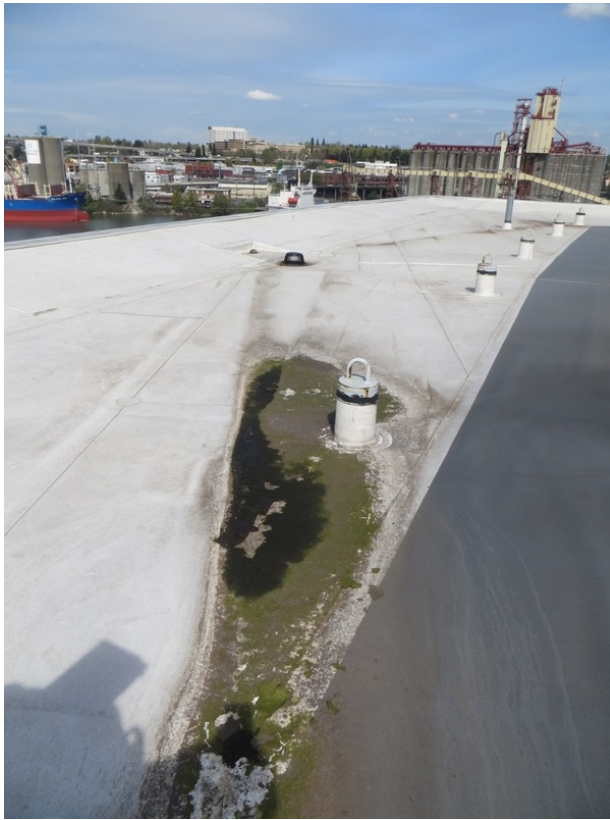


BW-01.381; 04/08/2014; Elevation Left / North



BW-01.382; 04/08/2014; Elevation Left / North





**BW-01.392; 04/08/2014; Elevation Back / East,  
Elevation Left / North**



**AP-01.233; 04/21/2014; Roof**



**AP-01.238; 04/21/2014; Roof**



**AP-01.241; 04/21/2014; Roof**

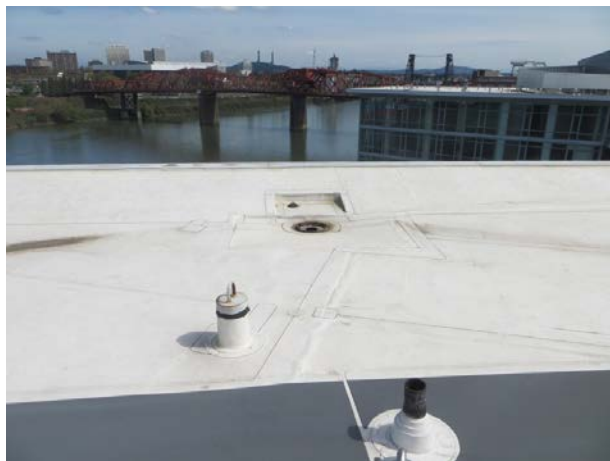


**AP-01.249; 04/21/2014; Roof**

## B. SUPERSTRUCTURE

### B3005 ROOF ACCESSORIES: ROOF DRAINS

Issue	Inspect roof drain covers / ponding conditions / debris
Investigation	Visual inspections.
Analysis	PFCS inspected both roof assemblies. In general the roofing membrane is performing as intended, however some ponding of water was observed at the roof drains. All drains were free of debris. Isolated roof drain cap was noted as missing at Building A.
Conclusion	Isolated repair required. Install a roof drain cap at Building A roof drain.
Costs	



**BW-01.397; 04/08/2014; Elevation Back / East, Elevation Right / South**



**AP-01.244; 04/21/2014; Roof**



**AP-01.251; 04/21/2014; Roof**



**AP-01.257; 04/21/2014; Roof**

## B. SUPERSTRUCTURE

### B3006 GUTTERS & DOWNSPOUTS

Issue	Inspect downspout assemblies.
Investigation	Visual inspection from a distance.
Analysis	PFCS did not observe any downspout discharges to be in distress. The downspouts, which are integral and within the building cavity, were only inspected at the discharge locations, located at the exterior pond feature.
Conclusion	No repairs required.
Costs	



AP-01.056; 04/21/2014



AP-01.065; 04/21/2014

## B. SUPERSTRUCTURE

### B3007 A ELEVATED WATERPROOF DECKS (BALCONY)

Issue	Inspect surface conditions, membrane conditions, slope, and outside edge condition.
Investigation	Visual inspections and review of Horizon Restoration balcony / deck review report.
Analysis	In general, the waterproof membrane assembly are in fair to good condition. Most balconies are well protected by the balcony above, therefore we anticipate overall good performance and life cycle of waterproof membrane. It is crucial that all pots placed onto the waterproofing surface have isolation pads and standing water is not promoted by excessive watering of plants. Elevated cantilever balconies are designed to drain to the exterior and it is crucial that the outside edge detail is maintained and kept debris free. The exterior aluminum panel detail, covering the outside edge of the balcony tends to promote moss growth and a constant wet condition, which sometimes allows moisture to migrate into the concrete edge and over time may cause damage. Maintenance of this condition is highly recommended.
Conclusion	Create a maintenance plan to keep the outside edge free from any debris and moss. Any future waterproofing efforts need to include the outside edge, and the underside of the outside edge detail.
Costs	



BW-01.073; 04/08/2014; Building Interiors



BW-01.086; 04/08/2014; Elevation Right / South





**BW-01.347; 04/08/2014; Elevation Left / North**



**AP-01.167; 04/21/2014; Elevation Front / West**



**AP-01.196; 04/21/2014; Elevation Back / East**



**AP-01.197; 04/21/2014; Elevation Back / East**



**AP-01.200; 04/21/2014; Elevation Back / East**



**AP-01.201; 04/21/2014; Elevation Back / East**

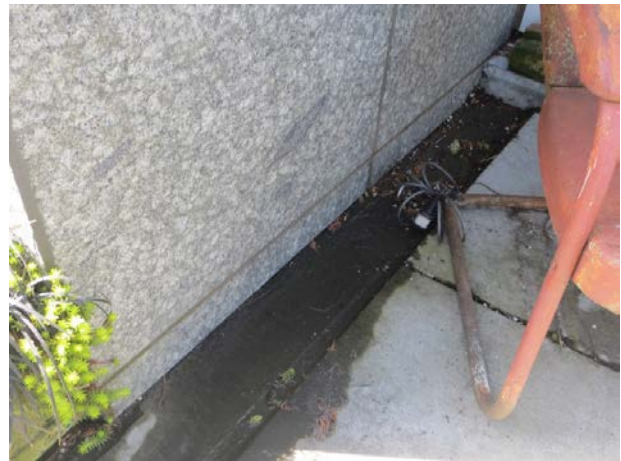
## B. SUPERSTRUCTURE

### B3007 B ELEVATED WATERPROOF DECKS (OVER LIVABLE SPACES)

Issue	Inspect waterproofing membrane and drainage at decks over livable space.
Investigation	Visual inspections.
Analysis	<p>PFCS has inspected numerous deck locations, that are directly over livable space below. In general, these areas are performing well. However, regular maintenance will be required. It is strongly recommended that all pots placed onto the waterproofing surface have isolation pads and standing water is avoided by excessive watering of plants. Some decks were noted with ponding water stains, and occupants should do their best to eliminate any standing water via maintenance. All drain assemblies must be maintained and unit owners need to keep them free of debris.</p> <p>Although elastomeric waterproof deck coating membrane manufacturers claim recoating is required every 2-5 years (pfcs.co/dq2u), they generally have a service life of between 5-12 years, depending on exposure and use. The HOA should maintain budgets to accommodate for an additional membrane, due at estimated time of replacement.</p> <p>There are 2 items that need to be addressed:</p> <ul style="list-style-type: none"> <li>Item 1: Building B - unit 905 has had previously identified excessive water ponding, and PFCS recommends that a reasonable repair approach to re-slope the finish coating should be planned and executed. It is not recommended that a more aggressive repair approach, that requiring concrete work, will be required.</li> <li>Item 2: Building A - Antique Store Patio, excessive moisture from above deck. Further investigation required. See photographs BW 1.323, BW1.325, and BW1.330.</li> </ul>
Conclusion	<ul style="list-style-type: none"> <li>Item 1: Building B - unit 905 has had previously identified excessive water ponding, and PFCS recommends that a reasonable repair approach to re-slope the finish coating should be planned and executed. It is not recommended that a more aggressive repair approach, that requiring concrete work, will be required.</li> <li>Item 2: Building A - Antique Store Patio, excessive moisture from above deck. Further investigation required. See photographs BW 1.323, BW1.325, and BW1.330.</li> </ul>
Costs	



**BW-01.323; 04/08/2014; Elevation Front / West,  
Elevation Right / South**



**BW-01.325; 04/08/2014; Elevation Front / West,  
Elevation Right / South**



**BW-01.330; 04/08/2014; Elevation Front / West,  
Elevation Right / South**



**AP-01.252; 04/21/2014; Roof**



**AP-01.276; 04/21/2014**



**AP-01.282; 04/21/2014**





AP-01.287; 04/21/2014



AP-01.288; 04/21/2014



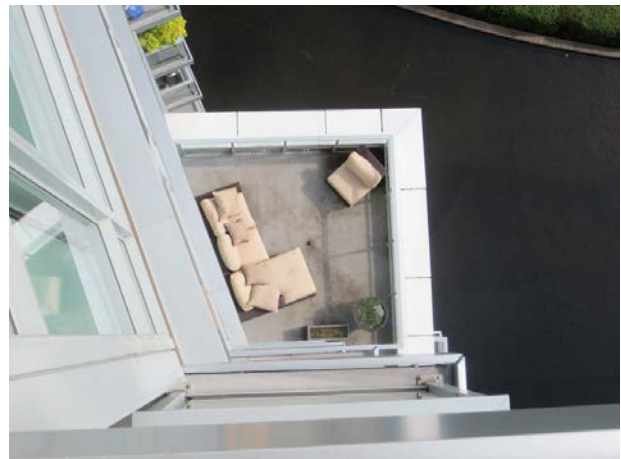
AP-01.290; 04/21/2014



AP-01.293; 04/21/2014



AP-01.430; 04/21/2014



AP-01.457; 04/21/2014



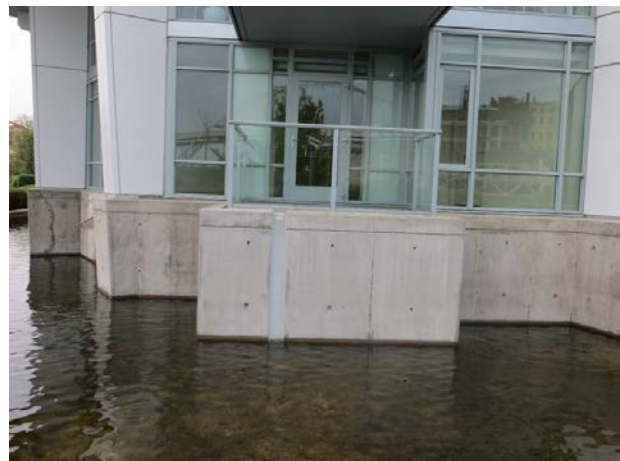
## B. SUPERSTRUCTURE

### B3007 C DECKS AT GROUND LEVEL

Issue	Investigate proper drainage at lower decks, at exterior pond level.
Investigation	Visual inspections.
Analysis	Lower decks, located at exterior pond feature are performing as intended. Drainage channels are located at the outside face, allowing the decks to drain directly into the water feature. No issues noted.
Conclusion	No repairs recommended.
Costs	



BW-01.363; 04/08/2014; Elevation Left / North



AP-01.063; 04/21/2014



AP-01.084; 04/21/2014



AP-01.179; 04/21/2014; Elevation Back / East

## C. INTERIORS

### C1020 INTERIOR DOORS

Issue	Verify condition of interior doors.
Investigation	Visual inspections.
Analysis	PFCS noted numerous entry doors that did not have the drop-down smoke seal threshold in the correct location, thus needing to be adjusted.
Conclusion	Consider adjusting threshold drop down seals so that they function properly.
Costs	



AP-01.308; 04/21/2014



AP-01.484; 04/21/2014



AP-01.485; 04/21/2014

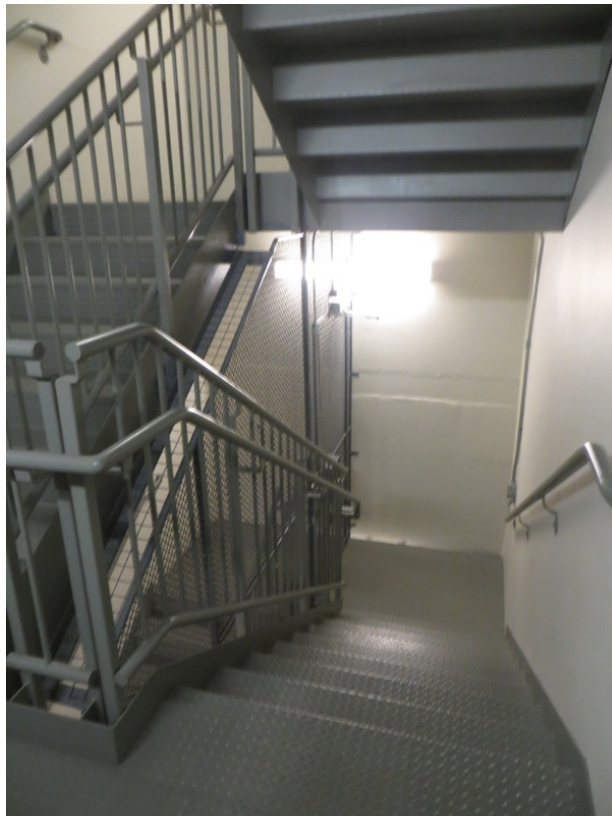


AP-01.492; 04/21/2014

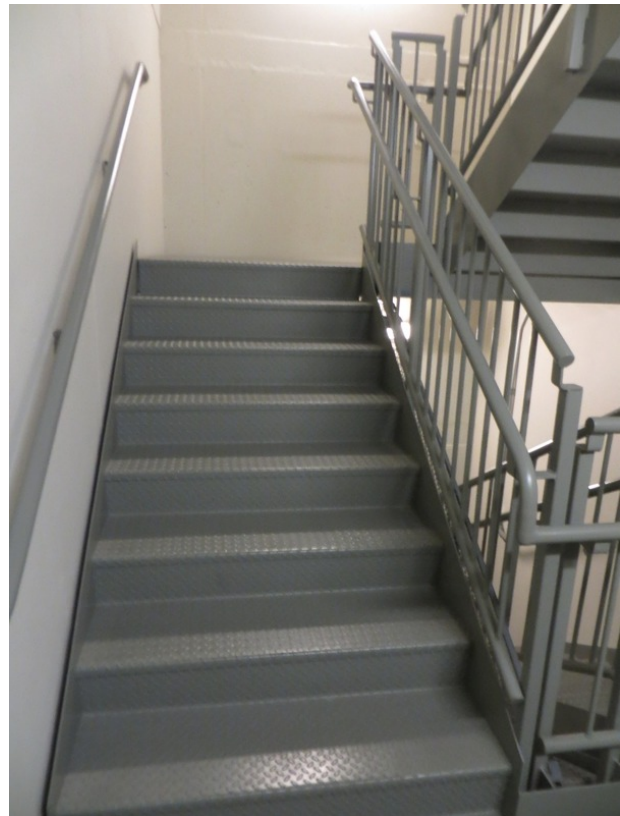
## C. INTERIORS

### C2000 STAIRS (INTERIOR AND EXTERIOR): METAL STAIRS

Issue	Inspect stair components for corrosion or defects.
Investigation	Visual inspections.
Analysis	PFCS did not note any issues. Element performing as intended.
Conclusion	No repairs recommended.
Costs	



BW-01.244; 04/08/2014; Building Interiors



BW-01.245; 04/08/2014; Building Interiors



## C. INTERIORS

### C3011 INTERIOR PAINT - COMMON AREAS

Issue	Inspect condition of interior paint.
Investigation	Visual inspections.
Analysis	PFCS did not note an issues with interior paint at common areas.
Conclusion	No repairs recommended.
Costs	



AP-01.347; 04/21/2014

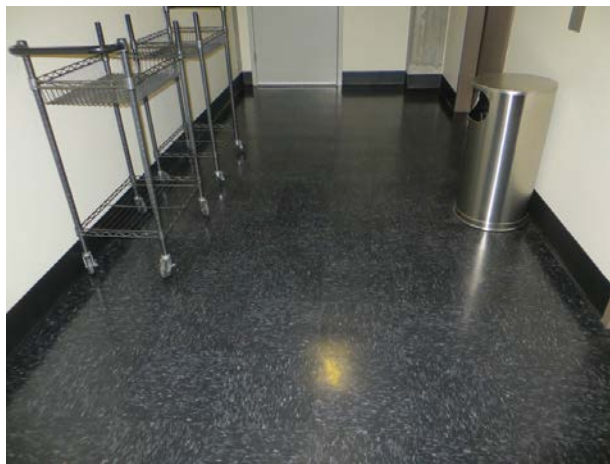


AP-01.398; 04/21/2014

## C. INTERIORS

### C3021 FLOOR FINISHES: VINYL FLOORING

Issue	Inspect for wear and tear, overall condition of flooring.
Investigation	Visual inspections.
Analysis	Flooring was observed to be in good to fair condition. Flooring is located at a high traffic area, and appears to be maintained on a regular basis.
Conclusion	No repairs recommended.
Costs	



AP-01.544; 04/21/2014

## C. INTERIORS

### C3024 FLOOR FINISHES: CARPET AT COMMON AREAS

Issue	Inspect carpet at common areas for wear and tear and overall condition.
Investigation	Visual inspections.
Analysis	PFCS did not note any defects associated with common area carpets. Flooring appears to be maintained on a regular basis.
Conclusion	No repairs recommended.
Costs	



AP-01.398; 04/21/2014



AP-01.399; 04/21/2014

## D. SERVICES

### D1010 ELEVATORS AND LIFTS

Issue	Verify that elevators are being inspected and serviced on a regular basis.
Investigation	Visual inspections.
Analysis	All elevators were noted as operational, in good condition, and serviced on a regular maintenance schedule.
Conclusion	No repairs recommended.
Costs	



AP-01.309; 04/21/2014



AP-01.310; 04/21/2014



AP-01.504; 04/21/2014



AP-01.549; 04/21/2014



AP-01.552; 04/21/2014



## D. SERVICES

### D2010 PLUMBING FIXTURES: RESTROOM FIXTURES

Issue	Inspect fixtures for leaks.
Investigation	Visual inspections.
Analysis	No leaks detected. Fixtures are functioning as intended. ADA compliant facility at common areas, fitness room.
Conclusion	No repairs recommended.
Costs	



AP-01.336; 04/21/2014



AP-01.339; 04/21/2014

## D. SERVICES

### D3000 A HVAC: COOLING TOWERS

Issue	Inspect for regular maintenance schedule and for potential leaks.
Investigation	Visual inspections.
Analysis	PFCS did not observe any leaks associated with the cooling tower equipment.  Manufacturers: AAON and Evapco Cooling towers are on a regular maintenance schedule.
Conclusion	No repairs recommended. Continue maintenance schedule.
Costs	



BW-01.403; 04/08/2014; Elevation Right / South



AP-01.216; 04/21/2014; Roof



AP-01.218; 04/21/2014; Roof



AP-01.223; 04/21/2014; Roof

## D. SERVICES

### D3000 B ELEVATOR COOLING UNIT

Issue	Verify maintenance schedule and check for equipment related leaks.
Investigation	Visual inspections.
Analysis	PFCS did not observe any leaks, associated with the elevator cooling equipment. Cooling equipment units are on a regular maintenance schedule.
Conclusion	No repair recommendations. Continue maintenance schedule.
Costs	



BW-01.405; 04/08/2014; Elevation Left / North



BW-01.406; 04/08/2014; Elevation Left / North

## D. SERVICES

### D3050 NATURAL GAS FUEL DISTRIBUTION

Issue	Inspect for component leaks and element finishes.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. PFCS did not see any components in distress. PFCS did not see finishes in need of immediate maintenance. No repairs recommended at this time.
Conclusion	No repairs recommended.
Costs	



BW-01.349; 04/08/2014; Elevation Left / North



AP-01.171; 04/21/2014; Elevation Left / North



## D. SERVICES

### D4000 A FIRE PROTECTION: SPRINKLER SYSTEM / DISTRIBUTION

Issue	Inspect for component leaks and element finishes. Verify maintenance schedule and inspections.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. Equipment is on a regular maintenance schedule. PFCS did not note any components as in distress. PFCS did not note the finishes in need of immediate maintenance. No leaks were observed throughout the inspections. No repairs recommended at this time.
Conclusion	No repairs recommended. Continue to maintain current schedule.
Costs	



AP-01.400; 04/21/2014



AP-01.472; 04/21/2014





AP-01.473; 04/21/2014



AP-01.606; 04/21/2014



AP-01.609; 04/21/2014



AP-01.644; 04/21/2014

## D. SERVICES

### D4000 B FIRE PROTECTION: FIRE EXTINGUISHERS / DEFIBRILLATOR

Issue	Inspect for accessibility.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. PFCS did not note any components as in distress. PFCS did not note the finishes in need of immediate maintenance. No repairs recommended at this time.
Conclusion	No repairs recommended.
Costs	



AP-01.375; 04/21/2014



AP-01.510; 04/21/2014

## D. SERVICES

### D4050 A FIRE PROTECTION / FIRE ALARM

Issue	Verify maintenance schedule.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. Equipment is on a regular maintenance schedule. PFCS did not note any components as in distress. PFCS did not note the finishes in need of immediate maintenance. No repairs recommended at this time.
Conclusion	No repairs recommended.
Costs	



BW-01.252; 04/08/2014; Elevation Front / West



BW-01.253; 04/08/2014; Elevation Front / West



BW-01.254; 04/08/2014; Elevation Front / West

## D. SERVICES

### D4050 B FIRE PROTECTION / SYSTEMS SENSORS

Issue	Verify location of sensors.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. Equipment is on a regular maintenance schedule. PFCS did not note any components as in distress. PFCS did not note the finishes in need of immediate maintenance. No repairs recommended at this time.
Conclusion	No repairs recommended.
Costs	



AP-01.320; 04/21/2014



AP-01.367; 04/21/2014





AP-01.464; 04/21/2014



AP-01.497; 04/21/2014

## D. SERVICES

### D5010 ELECTRICAL SERVICE AND DISTRIBUTION

Issue	Verify maintenance schedule.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. PFCS did not note any components as in distress. PFCS did not note the finishes in need of immediate maintenance. No repairs recommended at this time.
Conclusion	No repairs recommended.
Costs	



AP-01.343; 04/21/2014



AP-01.723; 04/21/2014

## D. SERVICES

### D5020 A LIGHTING AND BRANCH WIRING: EXTERIOR

Issue	Verify locations of light components.
Investigation	Visual inspections.
Analysis	PFCS did not inspect at night. All light fixtures appear to be positioned in an effort to provide adequate lighting throughout intended areas. No issues noted with finishes. Maintain all light components within common areas in order to provide adequate lighting and security.
Conclusion	No repairs recommended.
Costs	



BW-01.298; 04/08/2014; Elevation Front / West,  
Elevation Left / North



AP-01.048; 04/21/2014

## D. SERVICES

### D5020 B LIGHTING AND BRANCH WIRING: INTERIOR

Issue	Verify locations.
Investigation	Visual inspections.
Analysis	PFCS did not inspect at night. All light fixtures appear to be positioned in an effort to provide adequate lighting throughout intended areas. No issues noted with finishes. Maintain all light components within common areas in order to provide adequate lighting and security.
Conclusion	No repairs recommended.
Costs	



AP-01.340; 04/21/2014



AP-01.367; 04/21/2014



AP-01.379; 04/21/2014



## D. SERVICES

### D5020 C LIGHTING AND BRANCH WIRING: BOLLARD LIGHTS

Issue	Verify locations.
Investigation	Visual inspections.
Analysis	PFCS did not inspect at night. All light fixtures appear to be positioned in an effort to provide adequate lighting throughout intended areas. No issues noted with finishes. Maintain all light components within common areas in order to provide adequate lighting and security.
Conclusion	No repairs recommended.
Costs	



BW-01.348; 04/08/2014; Elevation Left / North



AP-01.122; 04/21/2014; Elevation Right / South



AP-01.124; 04/21/2014; Elevation Right / South

## D. SERVICES

### D5020 D LIGHTING AND BRANCH WIRING: LANDSCAPE LIGHTS

Issue	Verify locations.
Investigation	Visual inspections.
Analysis	PFCS did not inspect at night. All light fixtures appear to be positioned in an effort to provide adequate lighting throughout intended areas. No issues noted with finishes. Maintain all light components within common areas in order to provide adequate lighting and security.
Conclusion	No repairs recommended.
Costs	



BW-01.317; 04/08/2014; Elevation Front / West



AP-01.152; 04/21/2014; Elevation Front / West



AP-01.162; 04/21/2014; Elevation Front / West

## D. SERVICES

### D5030 COMMUNICATIONS & SECURITY

Issue	Verify locations and functionality.
Investigation	Visual inspections.
Analysis	Equipment was noted as operating normally and as intended. Based on interviews, element has a good working history. Equipment is on a regular maintenance schedule. PFCS did not note any components as in distress. PFCS did not note the finishes in need of immediate maintenance. No repairs recommended at this time.
Conclusion	No repairs recommended.
Costs	



BW-01.248; 04/08/2014



AP-01.118; 04/21/2014; Elevation Right / South



## E. EQUIPMENT AND FURNISHINGS

### E1000 A EQUIPMENT AND APPLIANCES

Issue	Visual evaluation of the equipment.
Investigation	Visual inspections.
Analysis	Equipment was noted as functional and operations. No issues were reported.
Conclusion	No repairs recommended.
Costs	



BW-01.418; 04/08/2014; Building Interiors



BW-01.423; 04/08/2014; Building Interiors



AP-01.331; 04/21/2014

## E. EQUIPMENT AND FURNISHINGS

### E1000 B INTERIOR FURNISHINGS

Issue	Visual evaluation of the furnishings.
Investigation	Visual inspections.
Analysis	All furnishings were noted to be in good to fair condition.
Conclusion	No repairs recommended.
Costs	

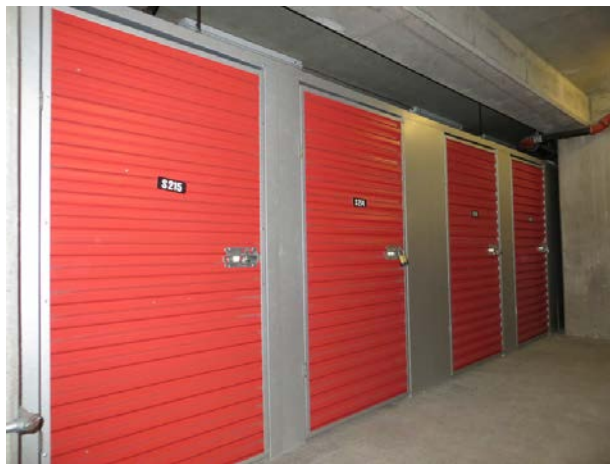


AP-01.379; 04/21/2014

## E. EQUIPMENT AND FURNISHINGS

### E1000 C EQUIPMENT AND APPLIANCES: STORAGE LOCKERS

Issue	Inspect for functionality and finishes.
Investigation	Visual inspections.
Analysis	All components are performing as intended. Finishes are in good condition. PFCS did not observe any components in distress.
Conclusion	No repairs recommended.
Costs	



AP-01.660; 04/21/2014



AP-01.693; 04/21/2014



## E. EQUIPMENT AND FURNISHINGS

### E1000 D EQUIPMENT AND APPLIANCES: TRASH

Issue	Inspect for functionality, wear and tear.
Investigation	Visual inspections.
Analysis	Trash chute and trash components are in good condition. No defects or distress observed.
Conclusion	No repairs recommended.
Costs	



AP-01.477; 04/21/2014



AP-01.479; 04/21/2014

## E. EQUIPMENT AND FURNISHINGS

### E1000 E EQUIPMENT AND APPLIANCES: WINDOW CLEANING EQUIPMENT

Issue	Visual evaluation of the Window Cleaning Equipment.
Investigation	Visual inspections.
Analysis	Current window cleaning equipment is not being used, as contractor ties off on existing roof anchors. Maintain plywood or some isolation materials between equipment bases and roofing membrane in order to avoid damage to roof membrane.
Conclusion	Maintain isolation materials between equipment and roof membrane.
Costs	



AP-01.239; 04/21/2014; Roof



AP-01.240; 04/21/2014; Roof

## E. EQUIPMENT AND FURNISHINGS

### E1000 F EQUIPMENT AND APPLIANCES: BIKE RACKS

Issue	Inspect for functionality and finishes.
Investigation	Visual inspections.
Analysis	All components are performing as intended. Finishes are in good condition. PFCS did not observe any components in distress.
Conclusion	No repairs recommended.
Costs	



BW-01.126; 04/08/2014; Building Interiors



AP-01.514; 04/21/2014



AP-01.515; 04/21/2014

## E. EQUIPMENT AND FURNISHINGS

### E1000 G EQUIPMENT AND APPLIANCES: MAILBOXES

Issue	Inspect for functionality and finishes.
Investigation	Visual inspections.
Analysis	All components are performing as intended. Finishes are in good condition. PFCS did not observe any components in distress.
Conclusion	No repairs recommended.
Costs	



AP-01.378; 04/21/2014



AP-01.509; 04/21/2014



## F. SPECIAL CONSTRUCTION AND DEMOLITION

### F1000 SPECIAL CONSTRUCTION: SAUNA

Issue	Verify, via interview that sauna is performing as intended.
Investigation	Visual inspections.
Analysis	Visual inspection only. Per Jason Cunningham, sauna is performing as intended and no issues have been reported.
Conclusion	No repairs recommended.
Costs	



BW-01.420; 04/08/2014; Building Interiors



BW-01.421; 04/08/2014; Building Interiors

## G. BUILDING SITEWORK

### G2020 PROTECTIVE BOLLARDS

Issue	Verify locations of protective bollards.
Investigation	Visual inspections.
Analysis	PFCS noted numerous bollards located in appropriate locations.
Conclusion	No repairs recommended.
Costs	



AP-01.128; 04/21/2014



AP-01.129; 04/21/2014

## G. BUILDING SITEWORK

### G2030 A PEDESTRIAN CONCRETE

Issue	Inspect for excessive cracks, trip hazards, drainage, and overall condition of pedestrian walkways.
Investigation	Visual inspections.
Analysis	<p>Concrete sidewalks and pedestrian walkways are provided at the perimeter of the buildings and along the Riverwalk. All sidewalks are constructed with regularly spaced control joints and broom finish. Ramps are provided throughout to accommodate ADA requirements.</p> <p>Sidewalks are considered to be in good condition. PFCS noted excessive irrigation water flowing onto the sidewalks at isolated areas, which is not an issue unless the region experiences freezing conditions.</p>
Conclusion	No repairs recommended.
Costs	



AP-01.037; 04/21/2014



AP-01.038; 04/21/2014



AP-01.072; 04/21/2014



AP-01.081; 04/21/2014



AP-01.104; 04/21/2014



## G. BUILDING SITEWORK

### G2030 B PAVERS AT STREET TREES

Issue	Inspect for drainage, and trip hazards.
Investigation	Visual inspections.
Analysis	PFCS noted numerous masonry pavers to be displaced and elevated, creating a potential trip hazards. The paver areas are not intended for pedestrian traffic, however are often used that way by the public.
Conclusion	Recommended maintenance to be performed in order to avoid potential trip hazards.
Costs	



AP-01.132; 04/21/2014



AP-01.133; 04/21/2014



AP-01.157; 04/21/2014; Elevation Front / West



AP-01.158; 04/21/2014; Elevation Front / West



## G. BUILDING SITEWORK

### G2041 A FENCES: CHAIN LINK (BICYCLE STORAGE)

Issue	Visual evaluation of the functionality.
Investigation	Visual inspections.
Analysis	All chain link fencing, at the subterranean garage areas was noted to be in good condition.
Conclusion	No repairs recommended.
Costs	



BW-01.127; 04/08/2014; Building Interiors



BW-01.129; 04/08/2014; Building Interiors

## G. BUILDING SITEWORK

### G2041 B SITE BENCHES

Issue	Visual evaluation of the site benches.
Investigation	Visual inspections.
Analysis	All benches were noted as in good condition, adequately attached to the concrete surfaces and with good finishes.
Conclusion	No repairs recommended.
Costs	



AP-01.044; 04/21/2014



AP-01.045; 04/21/2014



AP-01.092; 04/21/2014



AP-01.093; 04/21/2014

## G. BUILDING SITEWORK

### G2043 A BUILDING A INTERIOR WATER FEATURE

Issue	Inspect for leaks.
Investigation	Visual inspections.
Analysis	<p>PFCS noted very high humidity levels at the entrance of Building A. It is recommended that the humidity levels are monitored and maintain adequate air exchange within the entry areas.</p> <p>PFCS noted high humidity levels within the Building A pump and equipment room, where resultant mold was noted on the drywall surface. It appears that additional venting was introduced in order to mitigate this condition.</p>
Conclusion	<p>Item 1: Monitor humidity levels at Building-A entry, and maintain adequate air exchange.</p> <p>Item 2: Monitor and maintain adequate venting at Building-A pump room and maintain adequate air exchange.</p> <p>Item 3: Clean small amount of mold that has accumulated in Building A pump room. See PFCS or other sources of information for guidance (<a href="http://pfcs.co/mold">pfcs.co/mold</a>).</p>
Costs	



BW-01.139; 04/08/2014; Building Interiors



BW-01.140; 04/08/2014; Building Interiors

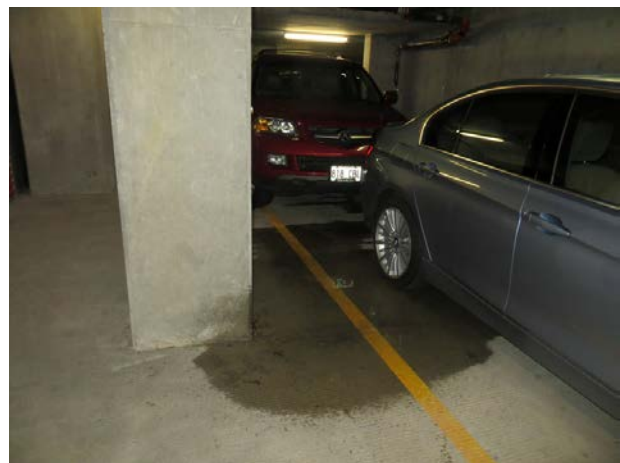
## G. BUILDING SITEWORK

### G2043 B BUILDING B INTERIOR WATER FEATURE

Issue	Inspect for leaks.
Investigation	Visual inspections.
Analysis	<p>PFCS noted water intrusion in the subterranean parking area P1, below of the water feature, located above in the Building-B entry.</p> <p>PFCS also noted an isolated event where the water feature pump overflow (pump recently replaced) was discharging water in excess, flooding the equipment room, and allowing water to migrate outside of the equipment room and into the parking garage. This event was being monitored by the building engineer therefore we believe that it is not a long term condition.</p>
Conclusion	<p>Repairs and further investigation required due to potential water feature leak.</p> <ol style="list-style-type: none"> <li>1. Turn off water feature, and drain.</li> <li>2. Clean off area of water intrusion at P1.</li> <li>3. Monitor to see if the source is indeed the water feature.</li> <li>4. Inspect all plumbing components, associated with the water feature to assure that all are performing and not leaking.</li> <li>5. Flood water feature basin, and monitor for potential leaks.</li> <li>6. Once the source is identified, consult with a 3rd party for scope of repair and specifications. (PFCS can assist in the further analysis, testing, and specifications for repairs in order to assure future performance).</li> </ol>
Costs	



AP-01.656; 04/21/2014



AP-01.657; 04/21/2014





AP-01.669; 04/21/2014



AP-01.670; 04/21/2014



AP-01.672; 04/21/2014



AP-01.680; 04/21/2014





AP-01.708; 04/21/2014



AP-01.711; 04/21/2014

## G. BUILDING SITEWORK

### G2043 C EXTERIOR WATER FEATURE

Issue	Inspect for leaks.
Investigation	Visual inspections.
Analysis	Exterior water feature is well maintained, free of moss, and overall in good condition. PFCS inspected all subterranean areas and no leaks were detected. Some cracks were noted within the water feature, noticeable from views above, however they appear to be at the top surface with no impact onto the waterproofing system.
Conclusion	No repairs recommended. Continue maintenance program. annual inspections of the subterranean levels for leak detections is crucial in order to assure long term performance and identify issues early, if any arise.
Costs	



AP-01.054; 04/21/2014



AP-01.068; 04/21/2014



AP-01.086; 04/21/2014



AP-01.353; 04/21/2014



AP-01.459; 04/21/2014

## G. BUILDING SITEWORK

### G2050 A LANDSCAPING AND IRRIGATION

Issue	Inspect for over saturated areas, landscape against structures, and broken irrigation components.
Investigation	Visual inspections.
Analysis	Irrigation adjustments recommended for isolated areas. In general, landscaping is in very good condition. Continue current maintenance program.
Conclusion	Recommendations: 1. Adjust irrigation / turn-off at North elevation of Building A, due to water intrusion below and a constant heavily saturated condition 2. Adjust irrigation along Riverwalk in order to avoid irrigation spill over onto concrete pedestrian pathways
Costs	



AP-01.076; 04/21/2014



AP-01.078; 04/21/2014





AP-01.099; 04/21/2014



AP-01.110; 04/21/2014



AP-01.111; 04/21/2014



AP-01.726; 04/21/2014; Elevation Left / North



## G. BUILDING SITEWORK

### G2050 B LANDSCAPE CONCRETE PLANTERS

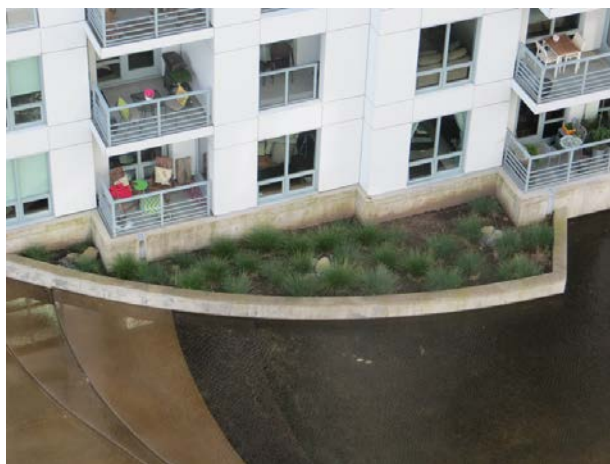
Issue	Inspect for signs of leaks and waterproofing details.
Investigation	Visual inspections.
Analysis	Concrete planters at front elevations. No signs of waterproofing failures. Concrete planters have local weather tolerant plants that require limited water source.
Conclusion	No repairs recommended.
Costs	



AP-01.131; 04/21/2014



AP-01.168; 04/21/2014; Elevation Front / West



AP-01.460; 04/21/2014

## G. BUILDING SITEWORK

### G2050 C LANDSCAPE POTS PLANTERS

Issue	Inspect for leaks
Investigation	Visual inspections
Analysis	PFCS noted a few pots that had excess irrigation.
Conclusion	Consider adjusting irrigation in order to avoid discharge onto concrete pedestrian surfaces.
Costs	



AP-01.096; 04/21/2014



AP-01.206; 04/21/2014

## G. BUILDING SITEWORK

### G2055 FINE GRADING & DRAINAGE

Issue	Inspect for standing water or negative slope conditions.
Investigation	Visual inspections.
Analysis	PFCS observed all drainage to be adequate and no standing water was observed throughout the property. A few locations along the Riverwalk indicated excessive irrigation, therefore it is recommended for irrigation to be adjusted. North elevation of Building-A also has excessive wet conditions at the grade level, which is recommended for irrigation adjustment, due to water intrusion below (see section A1010).
Conclusion	Consider irrigation adjustment in order to avoid water discharge onto pedestrian sidewalks.
Costs	



AP-01.053; 04/21/2014



AP-01.207; 04/21/2014

## G. BUILDING SITEWORK

### G3010 WATER SUPPLY

Issue	Identify leaks (if any), confirm type of equipment and maintenance
Investigation	Visual inspections
Analysis	<p>The building has municipal water supplied by copper and PVC water piping and cast iron sewer and storm drain. There are (2) Lochinvar high efficiency domestic boilers per building. Access panels and unit shut-off valves were noted in hallways where water is distributed to individual units. The domestic water pressure is unknown, however was not mentioned as a problem during the walk-through and interviews.</p> <p>The installed systems appear well suited to the needs of the buildings. No leaks, corrosion, galvanic action, or pipe deterioration was noted by PFCS. Roof surface drainage is integrated into the exterior pond feature and no back ups or evidence of such problems was observed.</p>
Conclusion	No repairs recommended, continue to service system as needed
Costs	



AP-01.225; 04/21/2014; Roof



AP-01.227; 04/21/2014; Roof



## G. BUILDING SITEWORK

### G4020 SITE LIGHTING

Issue	Verify that site lighting is functional and sufficient in order to promote night safety. Also see Element D5020.
Investigation	Visual inspections during daytime hours only.
Analysis	PFCS did not inspect the site at night however numerous types of lighting was noted. Street lighting at front elevations, walkway lighting along pedestrian pathways (Riverwalk), bollard pedestrian lighting, surface lighting at building entries, and landscape lighting throughout.
Conclusion	No repairs recommended, maintain all light fixtures.
Costs	



AP-01.048; 04/21/2014



AP-01.122; 04/21/2014; Elevation Right / South





AP-01.162; 04/21/2014; Elevation Front / West

## G. BUILDING SITEWORK

### G4030 SIGNAGE

Issue	Verify directional signage is adequate and room identifications.
Investigation	Visual inspections.
Analysis	All directional signage within garages was clear and highly visible. Directional signage was adequate and straight forward. All additional signage throughout the buildings was noted as in good condition and with clear understanding of meaning.
Conclusion	No repairs recommended.
Costs	



AP-01.067; 04/21/2014



AP-01.071; 04/21/2014



AP-01.342; 04/21/2014

## 4. Additional Considerations

Some PFCS Standards were used in the site inspection and writing of this report: Building Wall Inspection and Testing, Building Wall Design and Construction, Analyzing Construction Defects, and Building Codes & Standards. Other considerations included interviews with the building engineer, Jason Cunningham, On-Site Building Engineer, Pinnacle American Management Services and Sean Rogers, Property Manager, Pinnacle American Management Services.

## 5. Document Review and Interviews

- Interview most knowledgeable person, Bill Smith, Property Manager
- Architectural Drawings volumes I and II
- Numerous Permit Sets, submitted to City of Seattle
- River Front Living Maintenance Manual
- Condominium Declaration
- Conners & Company Reserve Study, dated 11/06/2013
- Product Research (Installation Manuals / Specifications)

## 6. Opinions of Probable Costs to Remedy Physical Deficiencies

Opinions of Probable Costs are NOT included in the Property Condition Assessment.

The consultant is not required to provide opinions of probable costs to remedy physical deficiencies, unless the client and the consultant have agreed to such an expansion of the scope of work. Such opinions may require specialty consultants or the results of testing, exploratory probing, or further research to determine the cause of any physical deficiencies and the appropriate remedy.

When Opinions of Probable Costs are included:

The estimates of costs for areas needing repair are based on PFCS' visual observations, analysis of building components, and related product research. All costs are order-of-magnitude estimates, unless actual bids have been provided and attached to this report. Standard maintenance items are not included, however, out of the ordinary maintenance conditions have been included.

These opinions of probable costs are to assist the user in developing a general understanding of the physical condition of the property. Opinions of probable costs should only be construed as preliminary budgets. Actual costs can vary from the consultant's opinions, depending on matters such as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing of the work (if applicable), quality of contractor, quality of project management, market conditions, and



whether competitive pricing is solicited.

Opinions of probable costs may be based upon: the extrapolation of representative observations, conditions deemed by the consultant as highly probable, results from information received, the commonly encountered EUL (estimated useful life) or RUL (remaining useful life) of the components or systems, or a combination thereof. It is not the intent of this report to prepare or provide exact quantities or to identify the exact locations of items or systems as a basis for preparing the opinions of probable costs.

Opinions of probable costs provided are for material physical deficiencies and not for repairs or improvements that could be classified as: (1) cosmetic or decorative; (2) part or parcel of a building renovation program or tenant improvements/finishes; (3) enhancements to reposition the subject property in the marketplace; (4) for warranty transfer purposes; or (5) routine or normal preventive maintenance, or a combination thereof.

## 7. Out-of-Scope Considerations

The activities listed below are generally excluded from or represent limitations to the scope of a PCA. These should not be construed as all-inclusive or imply that any exclusion not specifically identified is a PCA requirement.

- Removing or relocating materials, furniture, personal effects, debris.
- Conducting of exploratory openings or testing.
- Preparing engineering calculations or taking measurements or quantities.
- Reporting the presence or absence of pests, unless evidence is readily available.
- Reporting on condition of subterranean conditions such as underground utilities, separate sewage systems and wells.
- Entering or accessing areas deemed to pose a threat of dangerous or adverse conditions for the field observer.
- Providing an opinion on any component or system that is shut down or whose operation may increase the registered electrical demand load.
- Evaluation of the acoustical or insulating characteristics of systems or components.
- Evaluation of the security of the property and protection of occupants from unauthorized access.
- Operation or witnessing of the operating of lighting or other systems typically controlled by timers or that are normally operated by the building's operation staff or service companies.
- Providing an environmental assessment or opinion on the presence of any environmental issues such as asbestos, toxic materials, IAQ, the location and presence of designated wetlands, etc.
- No warranting or guarantee of present or future condition of the property or of a system or component's physical condition.
- No warranting or guarantee of compliance with any federal, state, or local statute, ordinance, rule or regulation, including but not limited to building codes, safety codes, environmental regulations, health codes or zoning ordinances, or compliance with trade/design standards or the standards developed by the insurance industry.



- No warranting or guarantee of compliance of any material, equipment, or system with any certification or actuation rate program, vendor's or manufacturer's warranty provisions, or provisions established by any standards that are related to insurance industry acceptance/approval.

## 8. Qualifications and Limiting Conditions

### ALEX PROKOP

Alex Prokop is a Senior Consultant with more than 17 years of experience in residential and commercial construction. He has acted as a General Contractor on custom residential projects, and as Director of Construction on a variety of large-scale residential master plan communities, commercial projects, and urban mixed-use developments. Throughout his career, Mr. Prokop has managed architectural departments, purchasing teams, and field operations for national and regional development companies, including type I and type II construction in urban environments. He has provided consulting services for LEED projects, Build-It-Green residential communities, cost estimating and project management services. In addition to having a B.S. in Construction Management, Mr. Prokop is a General Contractor, LEED Accredited Professional, and Certified Green Building Professional.

### LIMITING CONDITIONS

Certain physical conditions may exist on the subject property, and certain activities or procedures (not an all-inclusive list) that are beyond the scope of this report may warrant consideration by other parties. No property conditions assessment can wholly eliminate the uncertainty regarding the presence of physical deficiencies and the performance of a subject property's building systems. The site inspection and this report do not constitute professional architecture or engineering services.

It is important to recognize that suggested remedies may be determined under time constraints, formed without the aid of engineering calculations, testing, exploratory probing, the removal of materials, or design. Furthermore, there may be other alternate or more appropriate schemes or methods to remedy the physical deficiency. The consultant's opinions are generally formed without detailed knowledge from those familiar with the component's or system's performance.

Not every property warrants the same level of condition assessment. Consistent with good commercial and customary practice, the appropriate level of property condition assessment is generally guided by the type of property, the age of the improvements, the expertise and risk tolerance level of the user (HOA and unit owners), and the time available for preparing the property condition assessment report and reviewing the opinions to be contained in the property condition assessment report.

The purpose of conducting representative observations is to convey to the user the expected magnitude of commonly encountered or anticipated conditions. Recommended representative observation quantities for various asset types have been considered and deemed appropriate by the field observer. As such, the





field observer may survey sufficient units, areas, systems, buildings, etc. so as to comment with reasonable confidence as to the representative present condition of such repetitive or similar areas, systems, buildings, etc. The consultant may reasonably extrapolate representative observations and findings to all typical areas or systems of the subject property for the purposes of describing such conditions within the property condition assessment report and preparing the opinions of probable costs for suggested remedy of material physical deficiencies.

The field observer is not expected to survey every component of every system during a walkthrough survey. Only representative observations of such areas are to be surveyed. The concept of representative observations extends to all conditions, areas, equipment, components, systems, buildings, etc., to the extent that they are similar and representative of one another. This summary of observations was prepared using the degree of care normally exhibited by a professional acting in this capacity. This is not meant to be a complete evaluation of every component in the structure and surrounding property.

## QUESTIONS

If there are any questions that remain after your review of the issues, please do not hesitate to contact us at (503) 246-3744. If you have any knowledge that the information contained herein may not be accurate, or you have further information that may assist us in developing a more complete understanding of the property, please contact us so that an update can be published.

